



Design Code

**Dakota Ridge North
Boulder, Colorado**

Core Corporation
Boulder, Colorado

Calthorpe Associates
Berkeley, California

December, 1997



TABLE OF CONTENTS

INTRODUCTION	1
HOW TO USE THESE GUIDELINES	1
Residential	1
Open Space	1
Circulation	1
AMENDMENTS	1
LAND USES	2
Housing Types	2
General Requirements	2
Large-Lot Single Family	7
Medium and Small-Lot Single Family	7
Duplexes and Triplexes	7
OPEN SPACE	8
Access to the Foothills Trail	8
Drainage Ponds	8
Neighborhood Park	8
CIRCULATION	8
Streets	8
Bicycle and Pedestrian Systems	9
Transit	9



General Requirements

When implementing this design code, it is important to remember that the houses not only serve the private needs of the residents, but also constitute an important component in the overall form and health of a neighborhood. How houses face public streets and open space is critical to the success of creating a pedestrian-oriented, town-like neighborhood. Primary ground floor entries must orient to streets, not the interior of blocks or side yards. By placing garages in the rear of lots, entries and living space put "eyes on the street" and make the neighborhood safer and more active. With garage doors hidden from public view, front entries and porches gain greater visual emphasis, breaking the front facade into more human-scaled elements. By using alleys instead of front driveways, neighborhood streets can be more densely landscaped and using alleys instead of front driveways will make more on-street parking made available.

Porches, prominent front entries and other design features serve to extend the historic patterns of Boulder residential neighborhoods. Yards and porches provide an active social edge in front of private dwellings, where people can enjoy their "outdoor living room" created by streets and yards, where they can choose to "see and be seen." Setback requirements will help to create a comfortable street edge and enable garages and parking lots to occur away from the street.

General Code Guidelines:

Requirements	*Notes	Large-Lot	Sm/Med Lot	Attached
Lot Size (Min.)				
Width (ft)		64	36	18
Depth (ft)		62	73	73
Area (sf)		6,000	2,648	1,329
Build-to Lines				
Front Yard Building (ft)		12	8	6
Building Projections (ft)	[1][3]	9	6	4
Front Yard Porch (ft)	[3]	8	4	2
Side Yard (Street) (ft)		12	8	6
Yard Setbacks (Min.)				
Front Yard Garage (ft)		40	NA	NA
Side Yard (Street) Garage (ft)		30	8	6
Side Yard Total (ft)		16	8	0
Side Yard Building (ft)		8	0 or 4	0
Side Yard Porch (ft)		4	4	0
Side Yard (Alley) (ft)		NA	4	4
Rear Yard Building (ft)		20	20	20
Rear Yard Garage/Parking (ft)		0 or 3	8	8
Back Yard Area (Min.)		NA	NA	10 X 12
Height (Max.)	[2]	35	35	35
Porches		2+ loft Stories	2+ loft Stories	2+ loft Stories
Depth (Min.) (ft)		8	6	6
Width (Min.) (ft)		16	12	10

* Notes

- [1] Bay Windows, chimneys, balconies, and other building projections - not more than 50% of building frontage.
- [2] Exclusive of chimneys, vents, etc.
- [3] Second floor space allowed over porches, building projections, and garages to the building build-to and setback lines.



as window location and building materials are also encouraged to respond to Boulder's climate and reinforce its regional heritage.

Setbacks and Build-to Lines

This code employs both setbacks and build-to lines. The setbacks in the code set the minimum distance that is required between the building element and the property line. Build-to lines set the required distance between the building element and the property lines. A building element with a build-to requirement cannot be closer to or further from the property line. For example, a medium-lot single-family home that is located at the corner of two streets has a front build-to line for the main building (8 feet), the porch (4 feet), and any building projections (6 feet); it also has a build-to line in the side yard of 4 feet. But the same type of house on a non-corner lot would have setbacks, not build-to lines, along the side yard property lines.

Porches

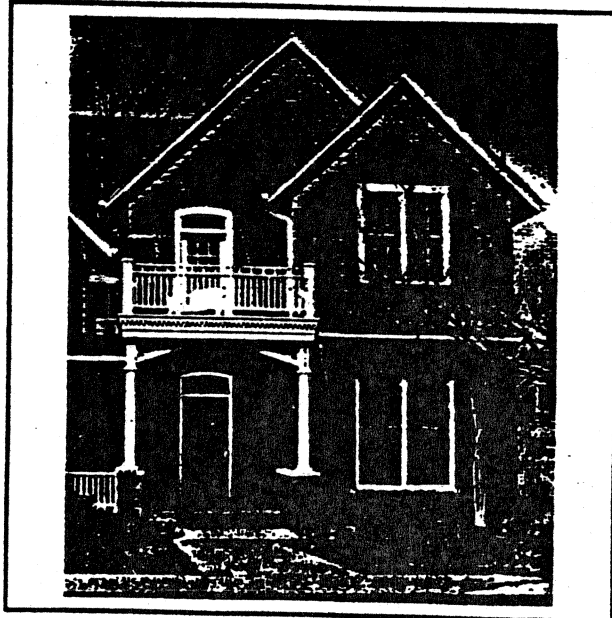
Primary entries shall be accessed directly from a public street and must be visible from the street. Front doors shall be substantial in appearance and shall include clear glass lights if an adjacent window is not provided. Porches are required for each unit and must be located immediately accessible to the primary entry. Porches must have a minimum unobstructed width and depth as described in each residential type section. Porches shall be covered with a roof that is supported by posts; cantilevered roofs are not permitted. Posts and rails shall be substantial in appearance and shall have a nominal dimension of at least 4x4 for posts and 2x6 for rails. Porches must be illuminated at night. Porches may be counted for on-lot Open Space for city calculation purposes if there is no living space in floors above.



Example Porch in Boulder

Facade Articulation

In addition to the required porch, the front elevation of all homes shall contain at least one of the following: bay window, dormer window, or balcony (balcony over porch permitted). The use of a variety of these features on various units will add to the character and interest of the neighborhood. Reveals and recesses shall be used to reduce the apparent size of facades and establish rich shadow lines. These should occur at windows, doors eaves, gable vents, etc.



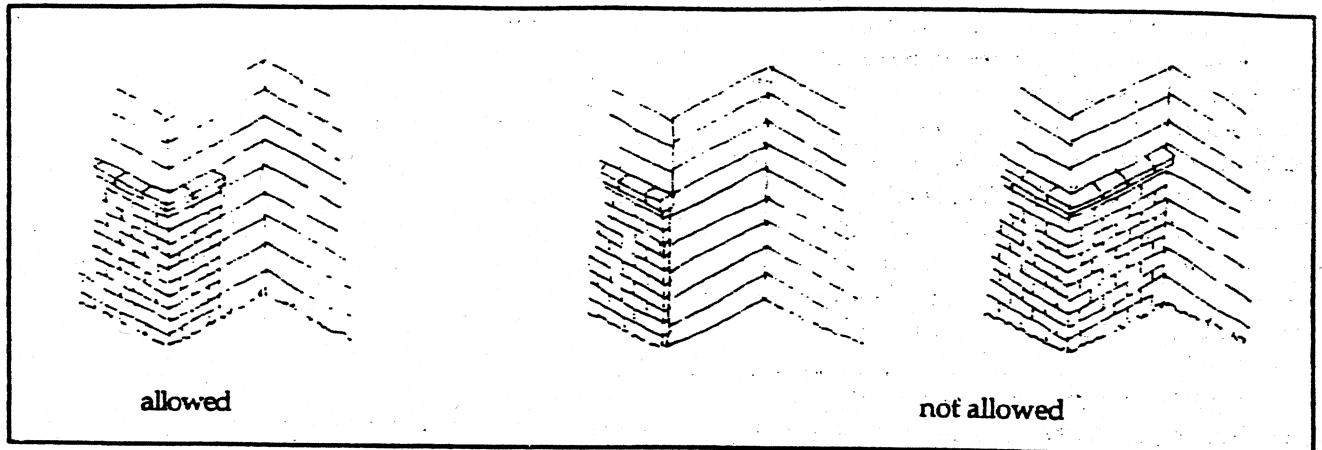
Example of Facade Articulation in Boulder

Roofs

Roofs shall be hipped or gabled. Gabled roof ends are strongly encouraged facing the street. The profile created by roof forms shall be simple with no unnecessary changes in roof plane. Roof configuration shall reflect a building's floor plan, massing, and use. The slope of primary roofs shall range between 10:12 and 12:12. Overhangs, porches, and eaves may break to a minimum 6:12 slope. Wood shingles are prohibited. Heavy asphalt shingles or standing seam metal roofs are required.

Materials

General Exterior Finishes: Materials shall reflect Boulder's climate and building tradition and convey a sense of permanence and durability. Wood board siding, stucco, stone and/or brick shall be used; T-111 plywood or equivalent sidings shall not be used. To avoid the appearance of a false appliqué, material changes shall not occur at exterior corners or along flat planes. Material changes shall occur at interior corners or at major reveals (e.g. - chimneys, engaged columns, etc.), see illustration.



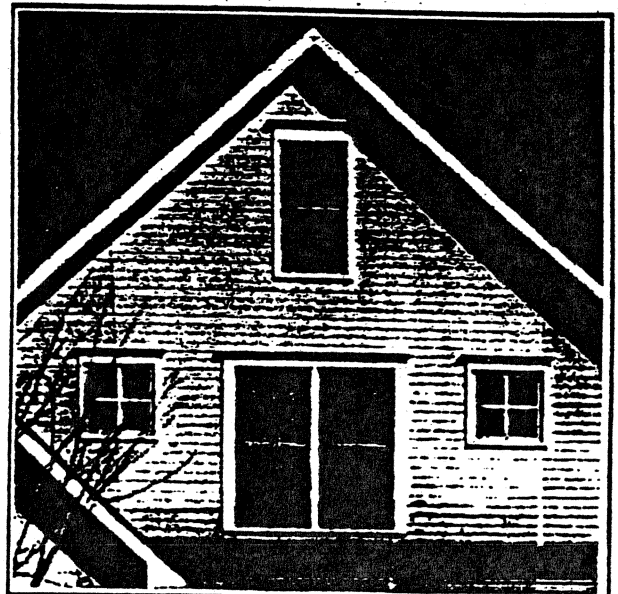
Exterior Materials Changes

The primary exterior finish, whether wood or stucco, must be used on all facades, "false" fronts are not allowed (i.e. - if the front facade is primarily wood, the other facades must be wood not stucco). Also, the trim treatment of windows and doors, the design of eaves, and other architectural details must be treated consistently on all facades.

Windows: Windows should have traditional proportions; they shall have a height greater than or equal to their width, preferably with classical proportions (e.g. 2:1, 3:2, and 4:3). Window frames with metallic finishes are not permitted.

Fences and Walls

Two types of fences are allowed within the residential neighborhoods: 42" high "open" fences and "privacy" fences. Refer to the *Landscape Requirements* for permitted fence designs.



Example Window in Boulder



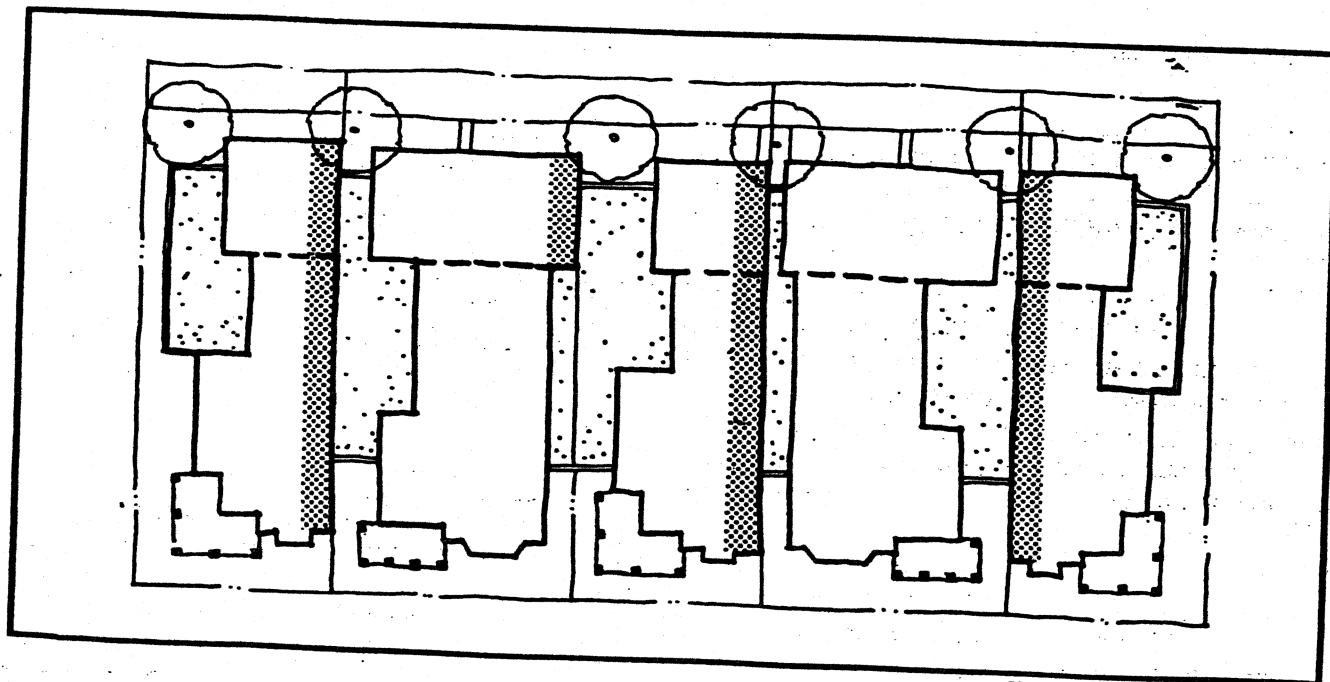
Privacy Fences and Walls: Privacy fences may be up to 5 feet high and shall be built out of attractive, long lasting materials, such as: wood, masonry, or stone. Privacy fences may be located along interior lot lines must be set back a minimum of 30 feet from the front property line and a minimum of 15 feet from the rear property line when there is an alley.

Fences: All other fences shall be not more than 3 foot 6 inches in height, and shall be primarily wood with the exception of corner posts and gate posts which may be masonry or stone. Fences shall be constructed only of these materials: All posts must be masonry, stone or wood. Rails must be wood. Permitted styles are: 1) post and rail, 2) Wood frame with vinyl coated metal fabric, and 3) picket. A possible alternative to a fence is a planted hedge, which shall be maintained at a maximum height of 3 feet - 6 inches.

Fences or hedges can be located at the back of sidewalk along the front or exposed side of a lot. They may also be located along the right-of-way. Picket fences must be set 18" back from any adjacent public walk.

Zero-Lot Line Conditions

Both the Medium-Lot and Small-Lot Single-Family homes are allowed to have one side that has no setback from the property line (i.e. - a "zero-lot line" condition). In no case should a wall "zero" on a side yard that is adjacent to a public street or alley. This means that at least one home in a string of homes along a block must have a setback on one side that the "zeroed" lot line can be shifted from one end of a block to the other. Lots adjacent to "zeroed" lot line will grant a five-foot maintenance easement for the benefit of the owner of the zero-lot line house.



Shifting The "Zeroed" Lot Line



Garages

Parking for two vehicles must be provided on each lot. Garages are placed away from the front of the house. An *Allowable Parking Zone* for each lot is illustrated on the accompanying *Design Code Plan*. No garage may be larger than a three-car garage, and three-car garages are required to have at least two garage doors. The setback requirements and other specific conditions of garage design are discussed in the specific housing type sections. All garages shall have a twenty feet minimum depth.

Large-Lot Single Family

These are the largest Lots within Dakota Ridge North. They are located West of Dakota Blvd. Garages may be attached or detached but must be within the parking zone shown on the *Graphic Plan*. "Zero" lot lines may not be used. The landscape requirements for these lots are in *Exhibit C of The HOA Declarations and Covenants*.

Driveways

Garages on the lots are set to the rear of the lot and served by a side-loaded driveway from the street. The garage shall be set back at least forty feet from the front property line and accessed by a driveway with eight-foot maximum total width. There shall be a two-foot minimum width landscaped area on both sides of the driveway. The driveway must extend at least twelve feet from the front property line, after which it may widen into a paved court providing full-width access to the doors of the garage. Garages accessed from a street other than the street on which the house fronts shall be setback at a minimum of thirty feet from the property line along the accessed side street. Driveways shall be as unobtrusive as possible. Driveways may be of a "two-track" style and constructed of turf blocks or other materials as approved by the Dakota Ridge North Homeowner Association Architectural Control Committee.

Medium and Small-Lot Single Family

The Medium and Small Lot Single Family homes are the most affordable of the detached homes within Dakota ridge North. These homes may have a zero-lot line conditional upon the stipulations outlined in *General Conditions* above. The landscape requirements for these lots are in *Exhibit C of The HOA Declarations and Covenants*

Garages, Parking Areas, and Aprons

Garages situated on alleys do not have driveways. A paved apron extends from the edge of alley to the face of garage. A planting area is required between the aprons serving adjacent garage doors to maximize the amount of landscaping within the alleys. The face of the garage or the parking area shall be setback eight feet from the rear property line, with either a zero or three foot minimum side yard setback.

Duplexes and Triplexes

Townhouses are attached single-family homes providing an additional level of affordability within Dakota Ridge North. They are located along both sides of Tenth Street. All relevant side-yard setbacks apply to the end sides of each building. Triplexes are required to be fire-protected by internal sprinklering. The landscape requirements for these lots are in *Exhibit C of The HOA Declarations and Covenants*



Open Space

The open spaces within Dakota Ridge North provide access to the adjacent Foothills Trail, temporary storage for storm water run-off, and a private one-acre park located in the center of the community.

Access to the Foothills Trail

Pending approval by the department of Open Space, two pedestrian/bicycle gates will be provided along Fifth Street as access points to the adjacent Foothills Trail. These will be the only direct access points from Dakota Ridge North, controlled by a post and wire fence.

Drainage Ponds

There are two drainage detention ponds along the north edge of Dakota Ridge North. These are intended to be temporary, pending the construction of the planned Dakota Ridge Village on the property immediately north of the subdivision. In the event of an unusually drenching thundershower, these ponds will temporarily fill to a depth of three feet, before releasing the runoff into Six-Mile Canyon Creek downstream.

Neighborhood Park

The neighborhood park provides open space recreational opportunities in the heart of Dakota Ridge North. A tot lot, shelter, and half basketball court could be located in this park, along with open turfed areas. This park will be owned and maintained by the Homeowner Association. No lighting is permitted in the park without City Manager approval.

Circulation

The circulation system within Dakota Ridge North creates a network of streets with multiple routes and connections between local destinations. The street network fulfills the goals outlined in the city's *North Boulder Infrastructure Plan* and the *North Boulder Sub-community Plan*. Bicycle and pedestrian connections to the Foothills Trail promote off-street access to points South.

Streets

The following circulation indicates the different street sections. Four major Access Streets will connect the neighborhood to adjacent neighborhoods: Dakota Boulevard, Fifth Street, Lykins Avenue, and Chinle Avenue. Between these streets, Tenth Street, Fountain Street, Pierre Circle, and Wingate Avenue access the fronting residences.

Residential Collector

The Residential Collector (Dakota Ridge Boulevard) is designed as the main link between Dakota Ridge North and Lee Hill Road. In the future, it will provide access to the Dakota Ridge Village Center. The street section has five-foot wide sidewalks, an eight foot tree lawn, and paved section of thirty-two feet curb to curb.



Residential Streets

These streets are the "bones" of the intra-neighborhood transportation scheme: they directly connect to adjacent streets, existing and planned. A four-foot wide attached sidewalk borders a thirty-two foot street section, providing ample parking on both sides of the street.

Access Streets

Access Streets connect the homes of the neighborhood with the surrounding street network. Four-foot sidewalks border a twenty-six foot drive section. The narrow section discourages speeding and creates a visually confined street section.

Alley

Alleys accommodate rear-loaded garages. Alley loaded garages minimize the need for curb cuts, maximizing opportunities for on-street parking, and place the house on the whole of the street frontage. Alleys are used for auto access to the garages, pedestrians, and city-franchised utilities. The drive shall be 12 feet wide with an inverted crown to contain drainage. Garages shall set back eight feet from the alley R.O.W. Alley landscaping shall be maximized and trees planted when not interfering with back-up clearance or sight lines.

Bicycle and Pedestrian Systems

Connections to the adjacent regional multi-use Foothills Trail shall be provided at two points along Fifth Street. Continuing south on Fountain Street leads to a low-traffic corridor connecting with the eventual Four-Mile Canyon Creek Greenway. All streets are fronted by sidewalks with a minimum four-foot wide width.

Transit

The neighborhood is served by high-frequency *Skip* mini-bus service. The north terminus for the *Skip* route is at the corner of Broadway and Front Range Avenue.



CITY
OF
BOULDER



1855408
Page: 54 of 59
10/02/1998 11:58A
Boulder County Clerk, CO PROT CNTS R 296.00 D 0.00

Department of Community Design, Planning and Development
P.O. Box 791 Boulder, Colorado 80306 (303)441-3270 Fax#:441-3241

July 6, 1998

Dakota Ridge North Graphic Code clarification

Add to General Requirements Paragraph

Setbacks and Build-to lines: A minimum of 50% of the length of a building facing a street must be placed at the build-to line, including the building projections and front porch areas permitted to exceed the build-to line.

General Code Guidelines table: Building Projections, may encroach into a frontyard area (beyond the build-to line) from 0' to the minimum setback within the encroachment area as defined in the table. (For example 0' to 3' in the large lot areas.)

Brent Bean 7-7-98
Brent Bean Date
Acting Director of PRNA

Richard L. McCabe 7-14-98
Richard L. McCabe, manager and Declarant Date
Dakota Ridge Joint Venture - Owner
Dakota Ridge North Homeowners Association



1855408

Page: 55 of 59

10/02/1998 11:58A

Boulder County Clerk, CO PROT CUTS R 296.00 D 0.00

EXHIBIT D

LANDSCAPING SPECIFICATIONS

(following 4 pages)



Dakota Ridge North Landscape Requirements

AREA

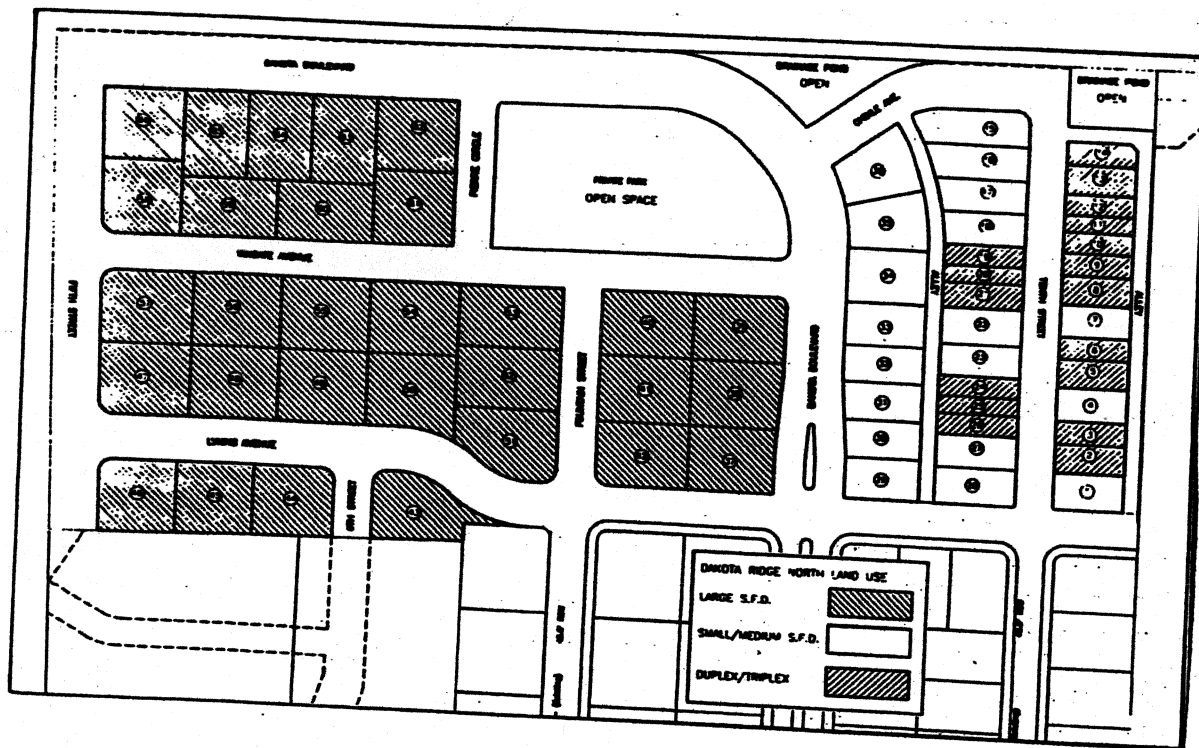
- The area required to be landscaped by the buyer in accordance with these requirements includes all of the front yard from the curb to the house facade and along the side yards to 3'-0" behind the front face of the house, and from side property line to side property line.
- The entire lot area must be landscaped. The areas required to meet fencing, grading and soil requirements as described in these requirements includes the entire lot including easements and the area in rights-of-way immediately adjacent to the lot.

FENCES

- Fences are not required.
- Fences to a maximum of 42" in height are permitted in required yards abutting a street, may not be located in the public rights-of-way, and shall be at least 18" from a public sidewalk.
- Front Yards: Fences in front yards may not be over 42" in height. All fences in the front yard must be of the same height. Transition to a higher back yard fence must take place at least three feet behind the Build-to line of the house as defined by the graphic code. Metal fabric fences are not permitted in front yards.
- Back Yards: Fences up to 60" in height are permitted in backyards except where abutting a street. Back yard fences placed in the side yard setbacks must be set at a minimum of three feet behind the front Build-to line as defined by the *Graphic Code*. Metal fabric fences, if used, must be vinyl coated or painted. Posts and rails on all fences must be wood.
- Fences shall be constructed only of these materials: All posts must be masonry, stone or wood. Rails must be wood. Permitted styles are:
 - 1) post and rail
 - 2) wood frame with vinyl coated or painted metal fabric
 - 3) picket
- All wood must be treated with a stain or paint.
- Solid fences must be set back the same distances as their height south of any public walk.
- All fences must conform to the *Design Code* and to any other sub-division standard details.
- The HOA Architectural Control Committee shall approve all fence designs before construction. Submit a plan and elevation at scale of 1/4" = 1.0' or larger for approval before starting construction. This submittal may be done in conjunction with the Landscape Plan as required below. Property owner is responsible for all City of Boulder permits

Land Uses

The conditions for each land use are described, a key map indicates the location of the use within the plan, a table lists the various codes, and a plan illustrates aspects of the code.



Dakota Ridge North Land Uses

Housing Types

Dakota Ridge North will create a residential neighborhood with a community identity and various degrees of affordability. The designs of the homes complement the street design.

The following residential design principles guide the design of all residences. After the general principles, there is a more detailed discussion of the residential types planned:

- Large Lot Single-Family Homes
- Medium and Small Lot Single-Family Homes
- Duplexes and Triplexes



required for construction.

SOIL

- Prior to excavation, all lots must stockpile and protect topsoil from the top 4" of the site.
- All lots must re-spread evenly the original stock-piled topsoil.
- At the time of landscaping, 1" min. of cow/peat, commercial compost, or organic topsoil must be added prior to planting.
- All final grades must be 1-1/2" lower than the adjacent pavement.

GRASS

- Lawns (except Buffalo Grass) cannot be planted within 3 feet of house and garage foundations.
- Blue or Rye grass is limited to 75% of the front yard landscape area.
- Tall Fescue or Buffalo Grass lawns are not limited and are encouraged.
- For at least 30% of their perimeter, lawns must attach to walls, walks, drives, property lines or fences.
- Top of grade prior to seeding, sodding or mulching must be at least 1-1/2" lower than adjacent pavement or edger.

PRIVACY SCREENS

- Privacy screens may be built within the building setbacks as shown on the *Design Code Master Plan*, to a maximum of 6' height and 25' length.
- Privacy screens must be faced and trimmed to match the house.
- All privacy screens must conform to the *Design Code* and any other sub-division standard details.
- Privacy Screens are not permitted in any setback.

MULCH

- Mulch consists of a 3-4" depth of rock, cobble, stone, wood or bark chips over geo-textile fabric. Plastic is prohibited. All areas not covered with grass must be mulched.
- Mulch cannot exceed 50% of landscaped area.
- Use of any single type of graded rock under 2" is not permitted. A variety of rock sizes in each individual bed is encouraged.
- Use of any type of wood or bark chips cannot exceed 70% of the mulched area. Wood product mulch should be placed only where it protected from the wind.

BORDERS

- Minimize the demarcation of the property line in front yards by using similar materials on each side. Within two feet of lot lines, adjacent lots must utilize the same ground cover material (except where there is a solid fence). First use dictates.
- The planting strip between curb and walk must be at least 80% grass. Any other plantings cannot exceed 12" height, except street trees.



SHRUBS/GROUND COVERS

- *Single Family West of Dakota Boulevard:* Each lawn must have at least three #5 shrubs over 5' height at maturity, five #5 shrubs under 5' height at maturity and twenty #1 shrubs, ground covers or perennial flowers under 12" height. At least 25% of all front yard shrubs and ground covers should be planted in a bed not attached to the house.
- *Single Family East of Dakota Boulevard:* Each lawn must have at least one #5 shrubs over 5' height at maturity, three #5 shrubs under 5' height at maturity and five #1 shrubs, ground covers or perennial flowers under 12" height.
- *Townhouses and smaller units in a duplex East of Dakota Boulevard:* Each lawn must have at least two #5 shrubs under 5' height at maturity and five #1 shrubs, ground covers or perennial flowers under 12" height.
- Shrubs cannot be planted closer than three feet to any adjacent wall, walk, or curb. Shrubs include wood ground cover shrubs.
- At least 40% but not over 60% of all shrubs must be deciduous.

TREES

- *Single Family West of Dakota Boulevard:* The front yard of each house must have at least two 1-1/2" caliper ornamental trees limited to Crabapples and Hawthorns of any species variety, Ginnala Maples, Chokecherries, or 5' Ponderosa Pines, or substitutions from the approved City of Boulder small tree list.
- Do not plant ornamental or evergreen trees within 8' of walks, walls, or paved areas.
- Do not plant ornamental or evergreens closer than 10' O.C.
- Do not plant Hawthorns in juniper beds.
- Do not plant shade trees closer than 15' O.C.
- Plant quantity exceptions for tree quantities due to corner or narrow lots are shown on the development plan.

XERISCAPE

- The use of drought tolerant and native species is highly encouraged.

DESIGN

- Before landscape construction, each house must submit to architectural control committee for approval a landscape front yard design. This plan shall be at a scale of 1" = 10' or larger. Each must include:
 - Location, type and size of all plant material.
 - Location and type of seed and sod.
 - Location and type of mulch beds.
 - Planting details.
 - Fence details and location.
 - Soil improvement type.
 - Location and type of edger.



IRRIGATION

- Zoned automatic irrigation systems are highly encouraged as an option on all lots.

TIMING

- All front yard landscaping will be completed within 120 days from the time of issuance of the Certificate of Occupancy, except for completions between November 15 and April 15 which shall be landscaped by the following May 15.

GRADING PLAN

- Landscape must conform to the grading and drainage plans accepted by the city. All swales must maintain free flow from adjacent uphill locations into adjacent downhill receptors. Direct runoff away from all structures. Maintain the percentage of grade indicated on *the Master Drainage Plan*. Interpolate flow-line elevations precisely between the fixed elevation points on the engineering plans.

STREET TREES

In addition, to these requirements, there will be two-inch caliper street trees planted along the streets and alleys in accordance with the *Graphic Code Master Plan* (+/- 10' to avoid drives and water meters). Property owners are responsible for the irrigation and maintenance of these trees. Property owner and their successors are required to keep these trees alive for a period of five years. Consult with the homebuilder regarding warranty, if any. In the event of replacement, trees must be selected from the City Forester's *Approved List*.